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PRELIMINARY DEVELOPMENT PROGRAMS AND GOALS  
FOR  
DUDLEY SQUARE

Prepared for the  
BOSTON REDEVELOPMENT AUTHORITY



Prepared by  
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in association with  
STULL AND LEE, INC.

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## DRAFT

### PRELIMINARY DEVELOPMENT PROGRAMS AND GOALS FOR DUDLEY SQUARE

#### PROLOGUE AND PURPOSE

The Dudley Square business district which comprises an area of approximately 60 acres bounded generally by Melnea Cass Boulevard on the north, Harrison Avenue on the east, the Roxbury civic center complex on the south, and Shawmut Avenue on the west has been designated an Economic Development District.

An inventory prepared in 1990, shows a total of 926,500 s.f. of space in the buildings in Dudley Square, not including the public buildings in the civic center complex. This includes approximately 400,000 s.f. of vacant non-residential space, 43 per cent of the total space in the district.

The purpose of this report is to present a series of alternative development programs for Dudley Square and to evaluate them in comparison to the existing inventory of space in the district to begin to establish goals for the economic development strategy that will be required to generate the employment, the incomes, the retail sales, and the households to support the final development program that will be prepared for Dudley Square.

#### ALTERNATIVE DEVELOPMENT PROGRAMS

Four alternative development programs are presented for review by the community. The total amount of occupied space in these programs ranges from 1.1 million s.f. to 1.3 million s.f. The average amount of space is 1.2 million s.f. The total amount of occupied space shown in the Dudley Square inventory is approximately 500,000 s.f. The overall goal for an economic development strategy for Dudley Square, therefore, is to generate employment and households to occupy 700,000 s.f. of non-residential and residential space in Dudley Square. Approximately 440,000 s.f. of this space would be conversions of existing vacant space. And approximately 260,000 s.f. would represent new construction.

#### PRELIMINARY ECONOMIC DEVELOPMENT GOALS

1. Retail space would increase from 222,000 s.f. in 1990 to 300,000 s.f. by the year 2000: *sales go up 8% / yr, half of it goes to existing stores, another half goes to new stores*  
an average increase of approximately 8,000 s.f. a year for ten years.

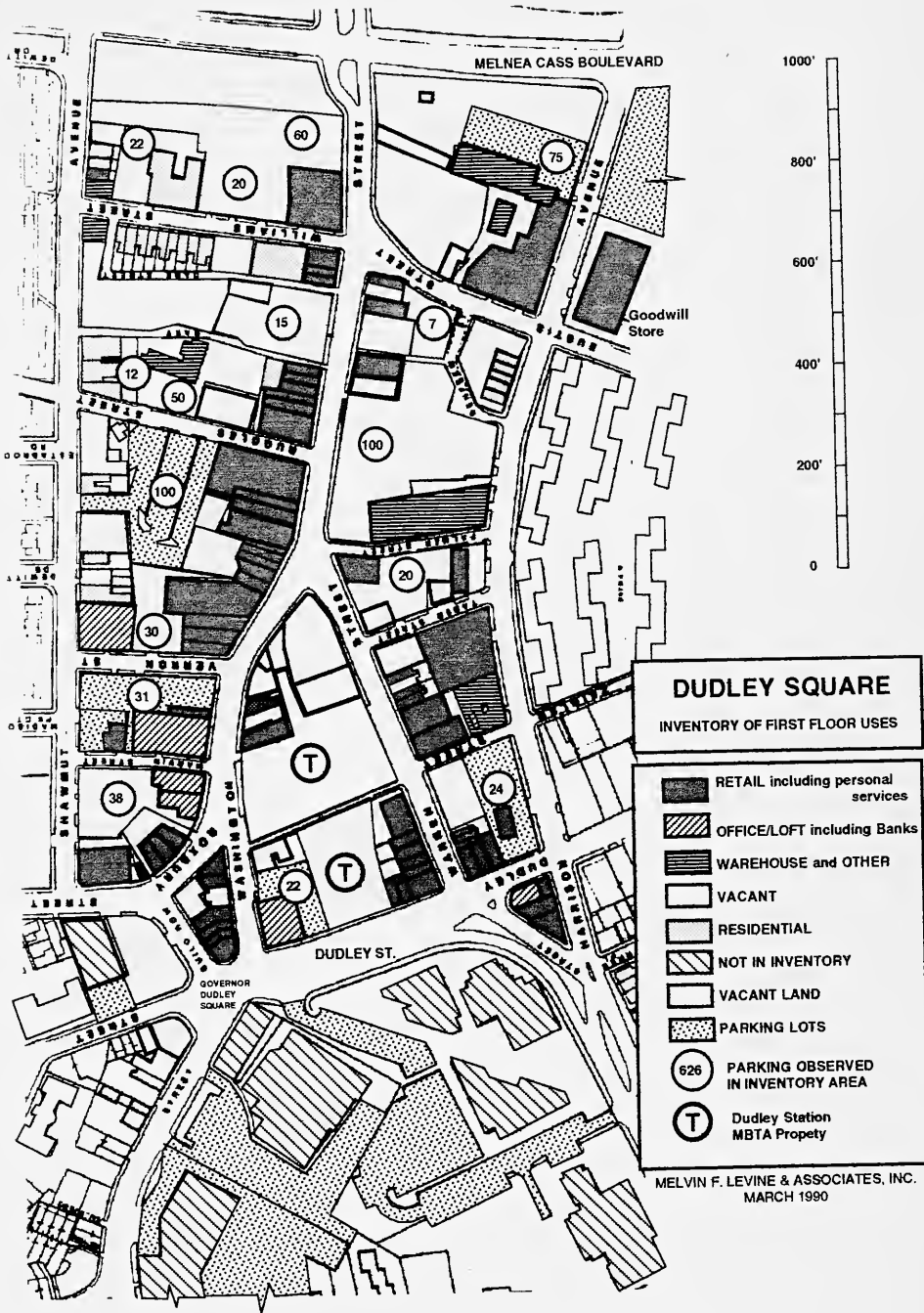
*R & D: 400 s.f. / employee  
average: 250 s.f.* If we assume that retail sales would increase at twice the rate of the increase in retail space, then retail sales would have to increase by 8 % a year for ten years

2. Office and loft space would increase from 62,000 s.f. to 496,000 s.f. by the year 2000  
an average increase of approximately 44,000 s.f. a year for ten years.

If we assume a ratio of 400 s.f. per employee for "office/loft" space, this translates into an employment goal of approximately 100 employees added a year for ten years.

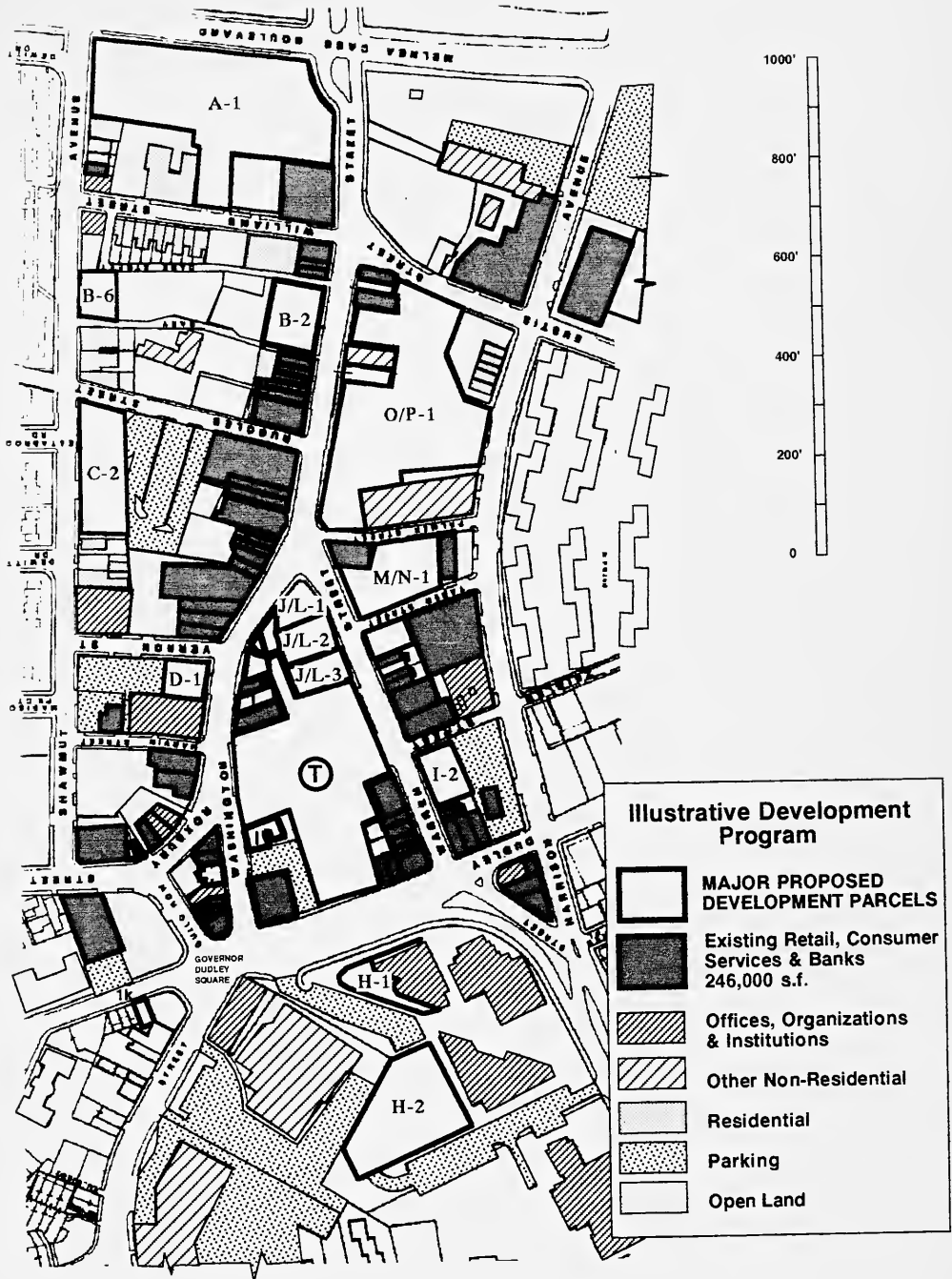
3. Residential development would increase from approximately 200 housing units to 345 housing units by the year 2,000. This would mean an average of 15 households a year attracted to Dudley Square for ten years.





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SUMMARY OF DEVELOPMENT PROGRAMS

COMPARISON OF DEVELOPMENT PROGRAMS WITH DUDLEY SQUARE INVENTORY					
SPACE	Alternative I	Alternative II	Alternative III-A	Alternative III-B	AVERAGES
Existing	402,020	406,970	417,820	383,820	402,658
Rehab	420,925	417,175	428,425	458,675	431,300
New	390,400	239,900	414,475	371,775	354,138
Total Space	1,213,345	1,064,045	1,260,720	1,214,270	1,188,095
SPACE-USE					
Retail	304,852	304,952	292,227	296,277	299,577
Office/Loft	478,474	365,474	586,874	553,374	496,049
Warehouse	62,000	52,000	52,000	35,000	50,250
Other	58,000	58,000	58,000	58,000	58,000
Subtotal	903,326	780,426	989,101	942,651	903,876
Residential	310,019	283,619	271,619	271,619	284,219
Total Space	1,213,345	1,064,045	1,260,720	1,214,270	1,188,095
Res. Units	368	347	332	332	345
Pkg Spaces	777	884	824	812	824
SPACE -USE AVERAGES					
Retail	299,577		222,300	Retail	77,277
Office/Loft	496,049		62,000	Office/Loft	434,049
Warehouse	50,250		94,500	Warehouse and Other	-44,250
Other	58,000		403,000	Vacant Non-Residential	-345,000
Subtotal	903,876		781,800	Subtotal Non-Res	122,076
Residential	284,219		144,700	Residential	139,519
Total Space	1,188,095		926,500	NET TOTAL NEW SPACE	261,595
Res. Units	345			Residential Units Added	145
Pkg Spaces	824			Parking Spaces Added	198
ECONOMIC DEVELOPMENT STRATEGY GOALS					
(a) Approximately half of the 77,277 s.f. of "Retail space" added would be converted from "Vacant Non-Residential".					
The remainder would be NEW SPACE. This represents a goal for increasing retail space of 35 %.					
If we assume, for example, that some percentage of the increases in retail sales would go to existing retail stores					
the goal for increasing retail sales would be substantially higher than 35 % to support the added retail space.					
(a) A majority of the "Office/Loft" space added would be from "converted" "Vacant Non-Residential" space.					
This would accommodate the employment added in the Dudley Square economic development district.					
Using a ratio of 400 s.f. of "Office/Loft" space/employee, the goal for the economic development strategy					
for Dudley Square would be (434,049 s.f. divided by 400 s.f./emp) = 1,085 employees added.					

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ALTERNATIVE 1

DUDLEY SQUARE DEVELOPMENT PROGRAM										RESIDENTIAL		OTHER PAR-							
ALTERNATIVE 1		Address		Lot Area	No. Flrs.	Print	Existing		Reliab	New	Res	Pkg	RETAIL	OFFICE	WARE-	HOUSE	SPACE	UNITS	KING
							1st	Upper	1st	Upper	Units	Spcls		Loft					
A-1	2101 Wash	69,090	2	13,600							13,600	13,600		13,600		13,600	38,400	36	59
A-2	700 Shwmt	38,640	3	12,800							12,800	25,600				16	3,150	3	16
A-3	716 Shwmt	1,297	2	1,575					1,575	1,575	3					3			
A-4	712 Shwmt	2,496	1	2,800					2,800 na							Community Use			2,800
A-5	2103 Wash	18,670	4	10,000					10,000	30,000	36	17	Res/Apts			18	26,100	36	18
A-6	37 Williams	23,760	3	9,400							3					17			17
A-7	720 Shwmt	1,806	3	1,800				16,700			3					Elks Club	3,600	3	5,400
A-8	718 Shwmt	1,227	3	1,200				2,400			3					Res/Flats	3,900	3	
A-9	714 Shwmt	1,353	3	1,300				2,600			3					Res/Flats			
B-1	2121 Wash	11,822	4	11,200						33,600	29					6	33,600	29	6
B-2	2149 Wash	25,750	3	7,125							16					18	14,250	16	18
B-3	2141 W Wash	7,050	3	2,302					2,302	4,604						Loft			
B-4	2167/83 Wash	16,730	3	13,572					27,144							13,572	27,144		
B-5	25 Ruggles	27,516	3	4,670					4,670	9,340	15					20	14,010	15	20
B-6	736 Shawmut	35,750	3	2,800							9					29	8,400	9	29
B-7	9 Ruggles	8,158	3	4,700							15					Res/Apts	14,100	15	
B-8	750 Shawmut	11,965	3	8,600				17,200			27					Res/Apts	25,800	27	
B-9	722 Shawmut	6,000	3	1,900				3,800								Mosque			5,700
B-10	24/40 Williams	16,280	3	7,200				14,400			27					Res/Flats	21,600	27	
C-1	2201 Wash	14,116	4	11,676						35,028						11,676	35,028		
C-2	760/780 Shwmt	29,700	2	7,000							30					18	14,000	30	18
C-3	10 Ruggles	37,625	pkg	37,625					pkg							61			61
C-4	2249 Wash	1,000	wlk	1,000					wlky							Walkway			
C-5	2221/41 Wash	15,518	3	11,800						23,600						6	11,800	23,600	6
C-6	225/159 Wash	16,069	2	6,000				6,000								5	6,000	6,000	5
C-7	2269 Wash	26,786	1&B	11,000				11,000								5	6,000	6,000	
C-8	2283/893 Wash	7,997	3	7,000						14,000						Robell's	22,000		
C-9	27/29 Vernon	9,557	2	6,400				6,400								Retail/Loft	7,000	14,000	
C-10	768/94 Shwmt	9,242	3	2,900				4,700			8					Salvation Army	12,800	7,600	8
D-1	2305 Wash	6,400	3	6,400															
D-2	do rear	21,530	pkg	21,530															37
D-3	2321/37 Wash	11,600	2	11,600				11,600								Retail/Off	6,400	12,800	
E-1	11/29 Roxbury	10,500	2	4,800												37	23,200		
E-2	37/51 Roxbury	6,459	4	5,394															
E-3	33/35 Roxbury	1,242	2	800						12,105	13					Retail/Apts	4,800	4,800	
E-4	234/3/45 Wash	25,817	2	6,300				6,300		800						Retail/Loft	5,394	12,105	13
I-1	150 Dudley	6,600	3	5,578												36	800	800	
I-2	42/50 Warren	8,296	1	8,050												Retail/Off	12,600	11,156	
I-3	160 Dudley	18,925	1	1,400					5,578	11,156						Retail	5,578	11,156	
J/L-1	1 Warren	5,974	5	4,615						8,050						19	1,400	8,050	19
									4,615	18,460						Retail/Off	4,615	18,460	







## ALTERNATIVE II

DUDLEY SQUARE DEVELOPMENT PROGRAM													REHAB Tst	Upper	Existing Tst	Lot Area	No Foot- Firs	ALTERNATIVE II						
Address	Lot Area	Firs	No	Foot-	Existng	Upper																		
A-1	2101 Wash	69,090	1	26,400	38,640	pkg	1	1,575	2,800	10,000	30,000	1,575	1,575	26,400	Res	Pkg	Units	Spes	Retail	Office	WARE- HOUSE	RESIDENTIAL SPACE	OTHER PAR- KING	
A-2	700 Shawmt	38,640	pkgs	38,640	pkgs	38,640	pkgs	1,575	2,800	10,000	30,000	1,575	1,575	26,400	3	84	3	3	SuperMkt	26,400		3,150	3	2,800
A-3	716 Shwmt	1,297	2	1,575	2,496	1	2,800	1,575	2,800	10,000	30,000	1,575	1,575	26,400	3	84	3	3	SuperMkt	26,400		3,150	3	2,800
A-4	712 Shwmt	2,496	1	2,800	18,670	4	10,000	1,575	2,800	10,000	30,000	1,575	1,575	26,400	3	84	3	3	SuperMkt	26,400		3,150	3	2,800
A-5	2103 Wash	18,670	4	10,000	38,640	pkgs	38,640	1,575	2,800	10,000	30,000	1,575	1,575	26,400	3	84	3	3	SuperMkt	26,400		3,150	3	2,800
A-6	37 Williams	23,780	3	9,400	9,400	16,700	16,700	1,575	2,800	10,000	30,000	1,575	1,575	26,400	36	17	Res/Apts	18	Retail/Loft	10,000	30,000	26,100	36	5,400
A-7	720 Shwmt	1,806	3	1,800	1,800	3,600	3,600	1,575	2,800	10,000	30,000	1,575	1,575	26,400	3	3	Res/Flats	3	Res/Flats			3,600	3	5,400
A-8	718 Shwmt	1,227	3	1,200	1,200	2,400	2,400	1,575	2,800	10,000	30,000	1,575	1,575	26,400	3	3	Res/Flats	3	Res/Flats			3,900	3	
A-9	714 Shwmt	1,353	3	1,300	1,300	2,600	2,600	1,575	2,800	10,000	30,000	1,575	1,575	26,400	3	3	Res/Flats	3	Res/Flats			3,900	3	
B-1	2121 Wash	11,822	4	11,200	11,200			33,600				33,600			29	6	Retail/Apts,	11,200				33,600	29	6
B-2	2149 Wash	25,750	3	7,125	7,125										16	18	Retail/Apts	7,125				14,250	16	18
B-3	2141 r Wash	7,050	3	2,302	2,302			4,604				4,604					Office/Loft		6,906			14,250	16	
B-4	2167/63 Wash	16,730	3	13,572	13,572			27,144				27,144					Retail/Loft	13,572	27,144					
B-5	25 Ruggles	27,516	3	4,670	4,670			9,340				9,340			15	20	Res/Apts	9	29	Res/Flats		14,010	15	20
B-6	736 Shawmnt	35,750	3	2,800	2,800			9,400				9,400			15	29	Res/Apts	9	29	Res/Flats		8,400	9	29
B-7	9 Ruggles	8,158	3	4,700	4,700										27	15	Res/Apts	27	15	Res/Apts		14,100	15	20
B-8	750 Shawmnt	11,965	3	8,600	8,600	17,200	17,200								27	27	Res/Apts	27	15	Mosque		25,800	27	15
B-9	722 Shawmnt	6,000	3	1,900	1,900	3,800	3,800								27	27	Res/Apts	27	15	Mosque		25,800	27	15
B-10	24/40 Williams	16,280	3	7,200	7,200	14,400	14,400								27	27	Res/Flats	27	15			21,600	27	5,700
C-1	2201 Wash	14,116	4	11,676	11,676			35,028				35,028					Retail/Loft	11,676	35,028					
C-2	760/780 Shwmt	29,700	2	7,000	7,000										30	18	Res/Flats	30	18	Res/Flats		14,000	30	18
C-3	10 Ruggles	37,625	3	37,625	37,625	pkg	pkg								61	61	Parking	61	61	Walkway				61
C-4	2249 Wash	1,000	1,000	1,000	1,000	1,000	1,000										Walkway							6
C-5	2221/41 Wash	15,516	3	11,800	11,800			23,600				23,600					6	Retail/Loft	11,800	23,600				6
C-6	2251/59 Wash	16,069	2	6,000	6,000	6,000	6,000								5	5	Retail/Off	6,000	6,000					5
C-7	2269 Wash	26,786	1&B	11,000	11,000	11,000	11,000										5	Retail/Off	6,000	6,000				5
C-8	2283/89 Wash	7,997	3	7,000	7,000			14,000				14,000					Robell's	22,000						
C-9	2723/9 Vernon	9,557	2	6,400	6,400	6,400	6,400										Retail/Loft	7,000	14,000					
C-10	788/94 Shwmt	9,242	3	2,900	2,900	4,700	4,700								8		Salvation Army	12,800				7,600	8	
D-1	2305 Wash	6,400	3	6,400													Res/Flats							
D-2	do rear	21,530	pkg	21,530	pkg										37		Retail/Off	6,400	12,800					
D-3	2321/37 Wash	11,600	2	11,600	11,600												37	Parking						37
																	Office					23,200		
E-1	11/29 Roxbury	10,500	2	4,800	4,800													Retail/Off	4,800	4,800				
E-2	37/51 Roxbury	6,459	4	5,394	5,394			12,105				12,105			13		Retail/Apts	5,394	5,394			12,105	13	
E-3	33/35 Roxbury	1,242	2	800	800			800				800					Retail/Loft	800						
E-4	234/3/45 Wash	25,817	2	6,300	6,300										38		Bank/Off		12,600					38
I-1	150 Dudley	6,600	3	5,578														Retail/Off	5,578	11,156				
I-2	42/50 Warren	8,296	1	8,050														Retail	8,050	11,156				
I-3	160 Dudley	18,925	1	1,400	1,400													Retail	1,400					19
J/L-1	1 Warren	5,974	5	4,615				4,615				18,460						Retail/Off	4,615	18,460				





1,064,045	w/o parking garage
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DUDLEY SQUARE DEVELOPMENT PROGRAM																
ALTERNATIVE III-A																
Address	Lot Area	No Flrs	Foot- print	Existing 1st	Upper	Rehab 1st	Upper	New 1st	Upper	Res Units	Pkg Specs	RETAIL	OFFICE LOFT	WAREHOUSE SPACE	RESIDENTIAL UNITS	OTHER PARKING
A-1 2101 Wash	69,090	5	13,600					13,000	52,000		96 Pkg		65,000			96
A-2 700 Shwmt	38,640	pkg	31,800													
A-3 716 Shwmt	1,297	2	1,575			1,575	1,575			3	Res/Flats				3,150	3
A-4 712 Shwmt	2,496	1	2,800			2,800	na									
A-5 2103 Wash	18,670	4	10,000			10,000	30,000				Community Use					2,800
A-6 37 Williams	23,780	3	9,400	9,400						36	18 Retail/Loft	10,000	30,000		26,100	36
A-7 720 Shwmt	1,806	3	1,800	1,800	3,600					3	Res/Flats				3,600	3
A-8 718 Shwmt	1,227	3	1,200	1,200	2,400					3	Res/Flats				3,900	3
A-9 714 Shwmt	1,353	3	1,300	1,300	2,600											
B-1 2121 Wash	11,822	4	11,200	11,200						29	6 Retail/Apts	11,200			33,600	29
B-2 2149 Wash	25,750	3	7,125					7,125	14,250	16	18 Retail/Apts	7,125			14,250	16
B-3 2141 r Wash	7,050	3	2,302			2,302	4,604				Office/Loft		6,906			
B-4 2167/93 Wash	16,730	3	13,572	13,572			27,144				Retail/Loft	13,572	27,144			
B-5 25 Ruggles	27,516	3	4,670			4,670	9,340			15	20 Res/Apts				14,010	15
B-6 736 Shawmut	35,750	3	2,800					2,800	5,600	9	29 Res/Flats				8,400	9
B-7 9 Ruggles	8,158	3	4,700			4,700	9,400			15	Res/Apts				14,100	15
B-8 750 Shawmut	11,965	3	8,600	8,600	17,200					27	Res/Apts				25,800	27
B-9 722 Shawmut	6,000	3	1,900	1,900	3,800					27	Mosque					5,700
B-10 24/40 Williams	16,280	3	7,200	7,200	14,400						Res/Flats				21,600	27
C-1 2201 Wash	14,116	4	11,676	11,676												
C-2 760/780 Shwmt	29,700	2	7,000					7,000	7,000	30	18 Res/Flats	11,676	35,028		14,000	30
C-3 10 Ruggles	37,625	pkg	37,625			pkg				61	Parking					61
C-4 2249 Wash	1,000	wlkwy	1,000			wlkwy					Walkway					
C-5 2221/41 Wash	15,518	3	11,800	11,800			23,600				6 Retail/Loft	11,800	23,600			6
C-6 2251/59 Wash	16,069	2	6,000	6,000						5	Retail/Off	6,000	6,000			5
C-7 2259 Wash	26,786	1&B	11,000	11,000	11,000						Robell's	22,000				
C-8 2283/89 Wash	7,997	3	7,000	7,000			14,000				Retail/Loft	7,000	14,000			
C-9 27/29 Vernon	9,557	2	6,400	6,400	6,400					8	Salvation Army		12,800			
C-10 788/94 Shwmt	9,242	3	2,900	2,900	4,700						Res/Flats				7,600	8
D-1 2305 Wash	6,400	3	6,400					6,400	12,800							
D-2 do rear	21,530	pkg	21,530							37	Retail/Off Parking	6,400	12,800			
D-3 2321/37 Wash	11,600	2	11,600	11,600	11,600						Office		23,200			37
E-1 11/29 Roxbury	10,500	2	4,800	4,800												
E-2 37/51 Roxbury	6,459	4	5,394	5,394			12,105			13	Retail/Apts	4,800	4,800		12,105	13
E-3 33/35 Roxbury	1,242	2	800	800			800				Retail/Loft	5,394	800			
E-4 2343/45 Wash	25,817	2	6,300	6,300	6,300						Retail/Off	800	800			
I-1 150 Dudley	6,600	3	5,578			5,578	11,156				38 Bank/Off		12,600			38
I-2 42/50 Warren	8,296	1	8,050					8,050			Retail/Off	5,578	11,156			
I-3 160 Dudley	18,925	1	1,400	1,400							Retail	8,050				
J/L-1 1 Warren	5,974	5	4,615			4,615	18,460				19 Retail	1,400				19
											Retail/Off	4,615	18,460			



ALTERNATIVE III-A

[illegible]



## ALTERNATIVE III-B

DUDLEY SQUARE DEVELOPMENT PROGRAM										RESIDENTIAL	WARE- HOUSE	OFFICE	RETAIL	Pkg Units	Res Units	New 1st	Upper	1st	Upper	Res Units	Pkg Units	Retail Loft	Office Loft	WARE- HOUSE	RESIDENTIAL SPACE	OTHER PAR- KING
DUDLEY SQUARE DEVELOPMENT PROGRAM	ALTERNATIVE II-B	Address	Lot Area	No Firs	Foot- print	Existing 1st	Upper	1st	Upper	New 1st	Upper	Res Units	Pkg Units	Retail Loft	Office Loft	WARE- HOUSE	RESIDENTIAL SPACE	OTHER PAR- KING								
A-1	2101 Wash	69,090	5	13,600																						
A-2	700 Shwmt	38,640	pk	31,800																						
A-3	716 Shwmt	1,297	2	1,575																						
A-4	712 Shwmt	2,496	1	2,800																						
A-5	2103 Wash	18,670	4	10,000																						
A-6	37 Williams	23,780	3	9,400																						
A-7	720 Shwmt	1,806	3	1,800																						
A-8	718 Shwmt	1,227	3	1,200																						
A-9	714 Shwmt	1,353	3	1,300																						
B-1	2121 Wash	11,822	4	11,200																						
B-2	2149 Wash	25,750	3	7,125																						
B-3	2141 1/2 Wash	7,050	3	2,302																						
B-4	2167/93 Wash	16,730	3	13,572																						
B-5	25 Ruggles	27,516	3	4,670																						
B-6	736 Shawmut	35,750	3	2,800																						
B-7	9 Ruggles	8,158	3	4,700																						
B-8	750 Shawmut	11,965	3	8,600																						
B-9	722 Shawmut	6,000	3	1,900																						
B-10	24/40 Williams	16,280	3	7,200																						
C-1	2201 Wash	14,116	4	11,676																						
C-2	760/780 Shwmt	29,700	2	7,000																						
C-3	10 Ruggles	37,625	pk	37,625																						
C-4	2249 Wash	1,000	pk	1,000																						
C-5	2251/41 Wash	15,518	3	11,800																						
C-6	2251/59 Wash	16,069	2	6,000																						
C-7	2269 Wash	26,786	14B	11,000																						
C-8	2283/89 Wash	7,997	3	7,000																						
C-9	27/29 Vernon	9,557	2	6,400																						
C-10	788/94 Shwmt	9,242	3	2,900																						
D-1	2305 Wash	6,400	3	6,400																						
D-2	do rear	21,530	pk	21,530																						
D-3	2321/37 Wash	11,600	2	11,600																						
E-1	11/29 Roxbury	10,500	2	4,800																						
E-2	37/51 Roxbury	6,459	4	5,394																						
E-3	33/35 Roxbury	1,242	2	800																						
E-4	2343/45 Wash	25,817	2	6,300																						
I-1	150 Dudley	6,600	3	5,578																						
I-2	42/50 Warren	8,296	1	8,050																						
I-3	160 Dudley	18,925	1	1,400																						
J/L-1	1 Warren	5,974	5	4,615																						





## ALTERNATIVE III-B

L-2	15 Warren	11' x 60'	4	11' x 6'
L-3	19 Warren	7' x 15'	7	7' x 7'
L-4	228 S Wash	3' x 75'	4	3' x 3'
L-5	236 J Wash	3' x 15'	1	3' x 1'
L-6	14C Du Ray	12' x 64'	4	5' x 8'
L-7	39I-9 Warren	6' x 90'	1	3' x 30'
L-8	234S Wash	17' x 70'	1	6' x 70'
L-9	234J Wash	7' x 65'	4	6' x 60'
L-10	META	85' x 00'	1	30' x 00'
K-1	231S Wash	1' x 55'	3	1' x 5'
K-2	237-1 Wash	2' x 56'	1	2' x 5'
K-3	237S Wash	3' x 50'	1	3' x 0'
K-4	236S Wash	1' x 88'	1	1' x 8'
K-5	237V Wash	2' x 53'	3	2' x 0'
K-6	10 Roxbury	9' x 30' pkg		9' x 3'
M/MN-1	20 Warren	38' x 00'	4	32' x 0'
M/MN-2	115S Harrison	16' x 71' pkg		
M/NM-3	22 Warren	4' x 91'	1	4' x 9'
M/N-4	28-30 Warren	6' x 08'	1	3' x 0'
M/N-5	32 Warren	5' x 84'	1	4' x 0'
M/N-6	38 Warren	4' x 07'	1	4' x 0'
M/N-7	11S Harrison	7' x 11'	1	1' x 0'
O/P-1a	222A Wash	95' x 00'	1	5' x 0'
O/P-1b	21B0 Wash	do	pgk	45' x 0'
O/P-1c	217Z Wash	do	3	2' x 0'
O/P-1d	216A Wash	do	3	4' x 0'
O/P-1e	2150 Wash	do	3	6' x 0'
O/P-1f	2138 Wash	do	1	2' x 0'
O/P-1g	213A Wash	do	1	1' x 0'
O/P-1h	2128 Wash	do	1	1' x 0'
O/P-2	1127 Harrison	20' x 91'	2	17' x 00'
O/P-3	110313 Harr	18' x 750'	3	5' x 00'
Q-1	1003 Harrison	78' x 888'	1	65' x 00'
Q-2	2000 Wash	41' x 244'	1&2	5' x 00'
Q-3	2100 Wash	39' x 420'	2	1' x 800'
R-1	2401 Wash	36' x 000'	3	7' x 700'
H-1	Police na	1,204' x 210'		656' x 660'
Parking Garage na			1	
A-1 A-2 O-P-Iab c d e f o i h delete S-1			3	39' x 625'

